NAME: Welch-Cherry House – Exterior Alterations, ADA Handicap Ramp

LOCATION: Welch-Cherry House, 700 S. Rock Street, Little Rock, 72202

OWNER/AUTHORIZED AGENT:

First Lutheran Church 314 E 8th Street Little Rock, AR, 72202 Edward R. Sergeant, Sergeant Architecture PLLC 1858 S Arch Street Little Rock, AR, 72206



Figure 1. 700 S Rock Street, front facade, looking northwest.

AREA: 0.36 acres NUMBER OF LOTS: 1 WARD: 1

HISTORIC DISTRICT: MacArthur Park Historic District

HISTORIC STATUS: Contributing

CURRENT ZONING: R4A – Low Density Residential

CONSERVATION EASEMENT: 2016, Arkansas Historic Preservation Program

A. <u>BACKGROUND</u>

Location

The subject property is located at 700 S. Rock Street. The property's legal description is "W40" of Lot 10 and All of Lots 11 and 12, Block 42, City of Little Rock, Pulaski County, Arkansas".

Context

The subject property sits at the southwest corner of E 7th Street and S Rock Street and is the site of the Welch-Cherry House, a two-story brick masonry structure built as a residence in 1881 in the Italianate style. The structure is Contributing to the MacArthur Park Historic District and the most recent Arkansas Architectural Resource Form (PU2830, 2007) is provided as Attachment C.

The Welch-Cherry House displays a compound front-facing T plan with an asymmetrical front



gable and cross-gable roof. The home displays subdued Italianate details, such as tall and narrow two-over-two wood windows with hooded, segmental arches, and simple eaves with built-in gutters. Frame partial porches, single-story and two-story, sit against each elevation with collective square porch supports with beveled (chamfered) corners. Masonry details include brick window hoods and courses

parged and painted to appear like stone. The first story belt course along the street facing facades is precast concrete or stone. Uniquely, the home retains its original slate tile roof and five brick chimneys. The home lacks common ornate Italianate details such as cornices and eave brackets.

The residence was built for Reverend Thomas R. Welch who was a prominent Mason and served as the pastor of Little Rock's First Presbyterian Church, at 800 Scott Street, for 25 years. Upon his death, Welch left the home to the directors of the Southwestern Presbyterian University in Tennessee. In 1892, the university sold the house to Lewis W. Cherry who was in the ice manufacturing business and later became president of the Peoples Building and Loan and president of the State National Bank in Little Rock. After Cherry's death in 1922, his widow occupied the house until her death in 1957. The home was later converted to apartments. In 1984, the First Lutheran Church, at 314 E 8th Street, received a Conditional Use Permit to convert the structure to office space and utilize the interior land of Block 42 for shared parking between the church, the Winthrop Rockefeller Foundation, and J. Tucker Morse. The Welch-Cherry House was leased by J. Tucker Morse and RPM until recently. The church plans to continue the use of the home as office space.

Previous Action

On May 30, 2024, a COA (HDC2024-xxx) was issued for exterior masonry and wood repairs, installation of handrail on front steps, porch repairs, concrete walkway replacement, box gutter repairs, fencing repair, and HVAC replacement and screening.

On January 25, 2017, a COC (HDC2017-001) was issued to the First Lutheran Church for replacement of the slate roof with architectural shingle and exterior wood repair.

On May 9, 2016, a COA (HDC2016-006) was issued to the First Lutheran Church for replacement of the slate roof with architectural shingle.

On August 16, 2002, a COA (HDC2002-10) was issued to the First Lutheran Church for a wood side ADA ramp on the south porch facing the shared parking.

On December 6, 1990, a COA (HDC1990-010) was denied for signage.

On April 5, 1984, a COA (HDC1984-004) was issued to the First Lutheran Church for restoration and repair, rear (west) porch alterations and enclosure, and shared parking lot design for Block 42.

No previous actions were found on this site.

Sanborn Maps

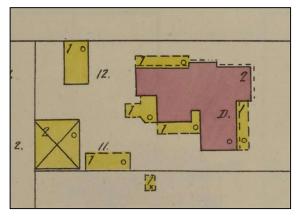


Figure 2. 700 S Rock Street, 1897, Sanborn Map, Little Rock.

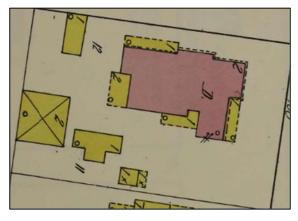


Figure 3. 700 S Rock Street, 1913, Sanborn Map, Little Rock.

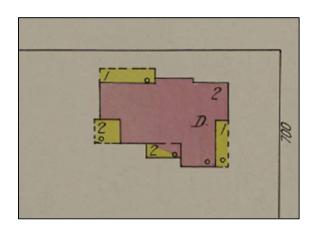


Figure 4. 700 S Rock Street, 1939, Sanborn Map, Little Rock.

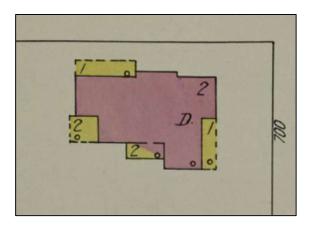


Figure 5. 700 S Rock Street, 1950, Sanborn Map, Little Rock.

Historic Photographs & Drawings

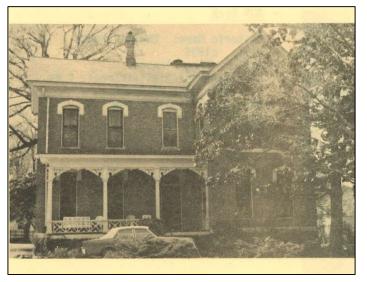


Figure 6. Welch-Cherry House, 1978, QQA architectural resource survey.



Figure 7. Welch-Cherry East Elevation Drawing, Allison Moses Reddin, 1984.

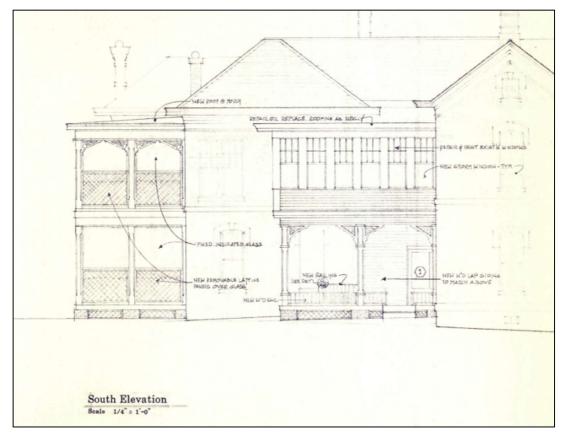


Figure 6. Welch-Cherry, approved alterations to south elevation, Allison Moses Reddin, 1984.

B. <u>PROPOSAL/REQUEST/APPLICANT'S STATEMENT:</u>

The application requests for the alteration of the rear (west) two-story enclosed porch, the removal and replacement of the existing ADA ramp, the installation of new handrails on the south and east porches, the enclosure of the south porch pier foundation, and the removal of paint from the brick window hoods and second story brick belt course.

The applicant has applied for an Historic Preservation Restoration Grant (HPRG) Option 2 with the Arkansas Historic Preservation Program for the same scope of work.

C. EXISTING CONDITIONS:

See site photos (Attachment A) and application packet (Attachment B). The application packet includes a cover letter, application, architectural plans and drawings by Sergeant Architecture PLLC, and subcontractor scopes of work categorized by trade.

The State of Arkansas, through the Arkansas Historic Preservation Program, hold a façade easement or conservation easement on the property.

D. NEIGHBORHOOD COMMENTS:

At the time of distribution, staff received one letter of support (Attachment D).

All owners of properties located within 200 feet of the site and all neighborhood associations registered with the City of Little Rock surrounding the site were notified of the public hearing.

E. ANALYSIS:

Rear Enclosed Porch Alteration

The application proposes to remove existing lattice panels and metal floor-to-ceiling window wall system installed in the 1984-1985 restoration and rehabilitation of the property. The porch enclosure system will be replaced with wood (Spanish cedar) one-over-one non-operable windows with exterior mullions, arranged two and three per bay. Wood horizontal siding and trim in the same dimensions and exposure are proposed beneath the windows to match the south elevation porch.

The proposal includes the restoration of all existing and original chamfered porch columns, pilasters, and remaining brackets. One existing column that is non-original will be replaced with a column that matches the originals in design and material. The four (4) existing brackets are proposed to be relocated from the second story to the first story, south elevation, of the porch. The brick masonry porch foundation will be deconstructed and rebuilt for stabilization with concrete footings and CMU (concrete masonry unit) bearing, with brick veneer salvaged from the existing foundation.

It is staff's understanding that the existing horizontal siding covering the eaves, soffit, fascia, and foundation of the rear porch will be removed. These porch elements will be replaced with wood boards of the appropriate dimensions to be compatible with the other porches on the structure.

The *Design Guidelines* in "Section III.B.4. Porches" state:

"Porches on the front and side façades should be maintained in their original configuration and with original materials and detailing. [...] If a side or rear porch is not easily visible from the street, it may be enclosed, if the height and shape of the roof are retained and if the size of openings and materials match those of the main building."

The "Guidelines for Rehabilitation" within the Secretary of Interior Standards for Rehabilitation state, regarding porch enclosure:

"Recommended: Enclosing historic porches on secondary elevations only, when required by a new use, in a manner that preserves the historic character of the building (e.g., using large sheets of glass and recessing the enclosure wall behind existing posts and balustrades)."

"Not Recommended: Enclosing porches in a manner that results in a diminution or loss historic character by using solid materials rather than clear glazing, or by placing the enclosure in front of, rather than behind, the historic features."

Staff finds the proposed rear porch alterations are <u>mostly consistent</u> with the *MacArthur Park Historic District Design Guidelines* and *Secretary of Interior's Standards for Rehabilitation*. According to the Sanborn maps and Commission casefile records, the rear porch was constructed as a one-story frame porch with non-combustible roofing, likely metal. A second story was constructed by 1913 and remained open into the 1950s. The second story was enclosed and the first story partially enclosed by the 1980s. The south elevation porch had gone through a similar evolution but was enclosed by 1939, within the period of significance of the

District. To more clearly differentiate the periods of enclosure between the south elevation porch, and the modern enclosure of the rear porch, staff recommends either the proposed siding be exchanged for simple solid panels or the enclosure system as a whole be reconfigured to consist of larger glazing without divide lights and a lower solid panel at porch railing height.

Examples of enclosed secondary porches in this configuration exist throughout the MacArthur Park Historic District, see below.



Figure 8. Holtzman-Vinsonhaler House, 500 E 8th, 2023.



Figure 9. 601 Rock Street, 2023.



Figure 11. Hanger House, 1010 Scott Street, 2023.

Accessibility Ramp

The application proposes the removal of the existing wood accessibility ramp on the south elevation and replacement with a concrete ramp and metal handrails. The ramp will connect the south porch to designated handicap parking.

The Design Guidelines in "Section III.B.11. Handicap Access Ramps" state:

"Handicap access ramps should be located on secondary or rear walls, constructed of wood in a style appropriate to the building. They should be stained or painted and should be screened with landscaping of low shrubbery to soften their appearance."

The "Guidelines for Rehabilitation" within the Secretary of Interior Standards for Rehabilitation state, regarding accessibility ramps:

"Recommended: Minimizing the impact of accessibility ramps by installing them on secondary elevations when it does not compromise accessibility or by screening them with plantings."

Staff finds the accessibility ramp is <u>inconsistent</u> with the *MacArthur Park Historic District Design Guidelines* in material and screening. The proposal is <u>consistent</u> with the *Design Guidelines* and *Secretary of Interior's Standards for Rehabilitation* in location. Staff recommends a wood accessibility ramp in consideration of the structure's architectural style, historic use, and materials. Concrete accessibility ramps are more appropriate on commercial and institutional structures that are an extension of the sidewalk to a storefront or entrance. A simple black, modular, metal accessibility ramp might also be more appropriate than concrete since it can be removed if needed.

Porch Handrails

The application proposes the installation of metal handrails with lamb's tongue ends along the porch steps of the front and south porches. One handrail is proposed for the front porch while retaining existing wood rails, two handrails are proposed for the south porch.

The Design Guidelines in "Section III.B.5. Porches: Stair railing" state:

"Stair railings may be required to meet city building codes. If historical evidence of style and placement exists, duplicate the original handrails. Many times, however, none existed or wooden rails deteriorated and were removed early in the

history of the building. If no historical evidence exists, railings may be constructed of simple metal pipe or flat bars and painted to match the trim color. In essence, the least obtrusive yet functional option may be used."

Staff finds the proposed handrails are <u>consistent</u> with the *MacArthur Park Historic District Design Guidelines* and *Secretary of Interior's Standards for Rehabilitation*. Staff recommends the relocation of the front porch handrail from the right side of the steps to the center of the steps if there is enough space.



Paint and Coating Removal

The application proposes to remove the paint from the brick masonry window hoods and second story belt course. Typically, the removal of paint from masonry would be supported and encouraged by the Design Guidelines and the SOI standards. However, there is physical evidence to suggest that the brick belt course and window hoods were originally parged and painted to resemble stone. For this reason, the removal of paint and parge coating needs to be considered. Staff recommends the additional investigation of the window hoods and belt course and consultation with the AHPP and NPS regarding best practice in this circumstance.

Figure 10. 700 Rock Street, front porch brick window hood with parge coating and paint.

F. <u>STAFF RECOMMENDATION:</u>

Staff recommends approval of the application with the following conditions:

- 1. The proposed siding on the rear porch be exchanged for simple solid panels below the windows to avoid conjecture.
- 2. The accessibility ramp be composed of wood with wood railings or a simple, dark colored metal ramp system that can be easily removed.
- The owner will consult technical staff at the Arkansas Historic Preservation Program and National Park Service to determine whether paint should be removed or if parged coating reapplied and repainted on the window hoods and second story belt course.

Attachment A: Site Photos



Figure 13. 700 S Rock, south and west elevations, rear porch, 2023.



Figure 14. 700 S Rock, west elevation, rear porch, 2023.

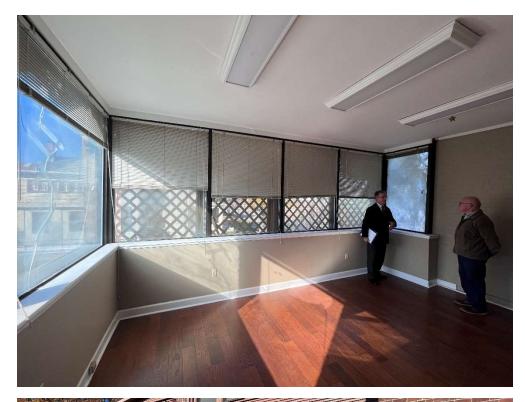


Figure 15. 700 S Rock, interior, rear porch, 2023.



Figure 16. 700 S Rock, south elevation, side porch and existing accessibility ramp 2023.

Attachment B Application Packet

SERGEANT ARCHITECTURE PLLC

ED SERGEANT, AIA - PRINCIPAL

Date: May 6, 2024 m: 501.350.6826

e: edwardsergeant@sbcglobal.net



Re: WELCH-CHERRY HOUSE - Cover letter

700 South Rock Street / Little Rock, Arkansas 72202

CERTIFICATE OF APPROPRIATENESS for the Little Rock Historic District Commission SA job no. 23033

PROJECT RATIONALE

To stabilize the existing historic structure by the Owner, First Lutheran Church.

INTENT OF USE

Continue leasing for office use.

SCOPE OF WORK (SOW)

The structure was built circa 1881. The Building was listed in the National Register of Historic Places on July 25, 1977. Historic Preservation Conservation Easement PU2830 was approved August 15, 2016. Conditional Use Permit Z-4176 was granted in 1984 to allow use for professional offices of the property zoned R4A. All work shall be in compliance the Little Rock Historic District Commission, HPRG Option 2 Grant, existing Conservation Easement, Arkansas Rehabilitation Tax Credit, Secretary of the Interior's Standards for Rehabilitation, all applicable codes including but not limited to the IBC (International Building Code) and ADA (Americans with Disabilities Act). The SOW will retain as much of the original historic fabric as possible.

- 1. ROOF: Repair existing roof assembly including flashing, box gutters, downspouts and eaves. Provide theftproof splash blocks. For pictures see Home Buyer's Protection attachment and inspection by Bray Sheet Metal.
- 2. MASONRY REPAIR AND STABILIZATION: Provide stabilization for house and porches including but not limited to walls, foundations and rebuild 2 leaning chimneys. All brick walls are load bearing masonry. All porches indicate vertical foundation movement. Include replacing non-matching mortar in color and strength. Eliminate moisture infiltration. Flashing shall be recessed in brick joints, not adhered to brick. See Home Buyer's Protection attachment and Roberts McNutt attachment.
- 4. REAR (WEST) ENCLOSED PORCH: Replace foundation which is settling see attachments 3 and 4a below. Horizontal lines drawn indicate how much movement has occurred since 2007 in attachment 4a.

Grade beam visible at column F6 (southwest corner) is deteriorating. Existing windows added in 1985 are breaking and cracking due to stress from movement on the windows presenting a hazardous condition (see 2^{nd} floor glass in attachment 3). The 1985 windows do not blend well with the overall historic nature of the house. Sanborn maps in Attachments 30 thru 32 indicate evolution of the west and south porch. The west was originally a one story open porch. A 2^{nd} story was constructed by 1913. The porch was not enclosed until 1985. Design shall be reviewed and approved by all applicable agencies. See Attachments 7 thru for existing photos.

See Exterior Elevations in Supplemental Info. The windows are proposed to provide some sense of scale and proportion to blend with the original but will not match. Vertical proportions are proposed so the openings don't look out of scale and would blend well with the house. See attachments 12a and 12b below - the large openings are out of scale so need some division. No operable sashes are proposed, simply divide the openings as shown. They are different than the original but much simpler design. The windows are oriented south and west for which the proposed openings will allow easier sun control with window shades. Columns remain in place which references the fact there used to be larger openings.

Also would prefer that the brackets align on the 1st floor like the other 3 porches as shown on the drawings.

- 3. FRAMING AND FINISHES: Stabilize for house and porches. Eliminate moisture infiltration & repair damage. See attachments 4 thru 6, 13 thru17 for existing photos. See Home Buyer's Protection attachment.
- 5. EXTERIOR WOOD: Repair and paint existing exterior, replace only if repair is not possible or materials are missing. Repair Eaves. See all attached photos and Home Buyer's Protection attachment.
- 6. WINDOWS: All original shall remain. Repair sealant to eliminate interior moisture penetration. Repair storm windows, clean and reinstall after painting.
- 9. REPAIR INTERIOR DAMAGE DUE TO LACK OF MOISTURE STABILIZATION: Repair all existing finishes and substrate. See attachment 17 for damage to lincrusta wall covering.
- 10. LIGHTING / EXTERIOR: Add exterior for safety from parking to south entrance ramp and front entrance.
- 11. LIGHTING / INTERIOR: Add general (ambient) lighting where missing without. Upgrade existing lights.
- 12. ELECTRICAL SYSTEMS: Repair in compliance with applicable codes and provide where insufficient for comfort. See Home Buyer's Protection attachment in Condition Assessment / Master Plan.
- 13. HVAC: Repair in compliance with applicable codes and provide where insufficient for comfort. See Home Buyer's Protection attachment in Condition Assessment / Master Plan. Stabilize basement temperature to prevent freezing and provide automatic vent closers at vent openings.
- 14. PLUMBING: Repair in compliance with applicable codes. See Home Buyer's Protection attachment in Condition Assessment / Master Plan.

6. SITE:

- a. ADA COMPLIANCE: Replace existing south ramp due to wear. Add handrails for front (east) porch. Provide striping connecting ramp to driving lane and handicap parking sign at designated parking space. Move handicap parking space next to ramp, add handicap parking sign and add logo on asphalt. Add code compliant handrails. See attachments 4,5,7,10,15, 17,19.
- b. SIDEWALKS: Replace existing for safe travel where damaged including the front steps. See attachment 20.

- c. FENCES: Repair existing.
- d. SITE STONE RETAINING WALLS: Repair existing.
- e. SITE DRAINAGE: Slope site away from exterior walls, provide below grade drainage to prevent water from entering basement.
- f. HISTORIC MARKER: Add new pole mounted for better visibility from the street, keep existing mounted to the sidewalk.

GENERAL NOTES

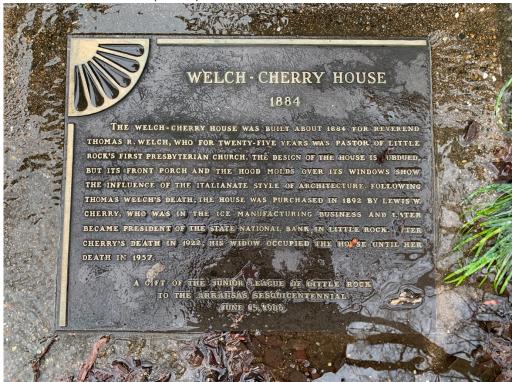
- 1. Work shall include scope for compliance with all applicable codes.
- 2. NOT INCLUDED: Hazardous Material Survey and abatement (which shall be by owner), historic paint color analysis and all other testing and inspections.

SERGEANT ARCHITECTURE PLLC

ATTACHMENTS:



 ${f 1.}$ EAST ELEVATION (FRONT)



2. HISTORIC MARKER



3. SOUTH ELEVATION



 $oldsymbol{4}$. South elevation



 $4a.\,$ SOUTH ELEVATION circa 2007



5. SOUTH PORCH



6. SOUTH PORCH



 $\boldsymbol{7.} \text{ SOUTH ELEVATION RAMP}$



8. WEST ELEVATION



9. WEST ELEVATION



10. WEST ELEVATION



11. WEST ELEVATION



12. WEST ELEVATION



 $\overline{12a}$. South interior elevation



 $12\mathrm{b}$. West interior elevation porch



 ${f 13.}$ NORTH PORCH



 ${f 14.}$ NORTH PORCH



 $15.\,$ NORTH PORCH



 $16.\,$ NORTH PORCH



17. LINCRUSTA



 $18.\,$ EAST (FRONT) GATE AND HANDRAIL



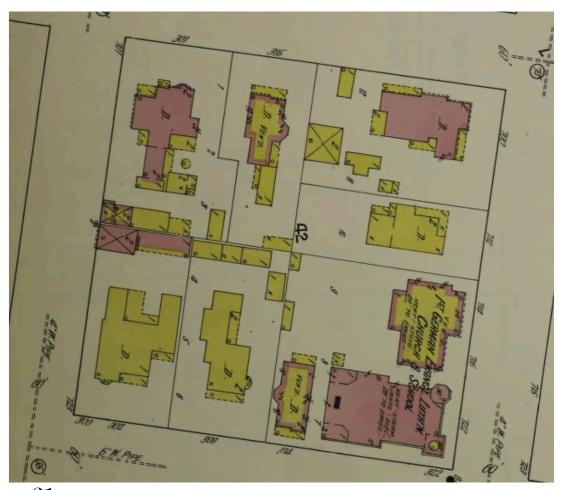
19. FRONT STEPS



20. DAMAGED SIDEWALKS



30. SANBORN MAP 1897



 $\overline{31}$. SANBORN MAP 1913



32. SANBORN MAP 1939



City of Little Rock

Department of Planning and Development 723 West Markham Street Little Rock, Arkansas 72201-1334 Phone: (501) 371-4790 Fax: (501) 371-4546 www.littlerock.gov



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Address of Property: 700 South Rock Street, Little Rock, Arkansas 72202
Mailing Address: First Lutheran Church, 314 East 8 th Street, Little Rock, Arkansas 72202 (Owner)
Legal Description of Property: W40' OF 10 & ALL 11 & 12 BLK 2 11 1N 12W
STREET ADDRESS: 700 South Rock Street, Little Rock, Arkansas 72202
Owner/Agent (Printed Name): Edward T. Sergeant
Owner /Agent Street, City, State, & Zip: 1858 South Arch Street, Little Rock, Arkansas 72206
Owner /Agent Phone Number: (501) 350-6826
Owner /Agent Email: edwardsergeant@sbcglobal.net
Name of Applicant as it will appear on all correspondence and in Staff report:
Edward T. Sergeant
Brief Project Description: Stabilization of existing circa 1881 house, including exterior load bearing
masonry, trim, repair interior due to moisture infiltration, HVAC systems and improve accessibility in
compliance with the ADA. Replace infill window walls in rear (southwest) porch. The Owner, First Lutheran
Church, will continue to lease as office space in compliance with Conditional Use Permit Z-4176.
Estimated Cost of Improvements: \$685,000
Zoning Classification: Is the proposed change a permitted use? \Box Yes \Box No $$ There is no proposed change
for the Zoning Classification. The use is permitted as noted above.
Signature of Owner or Agent:
NOTE : Should there be changes during construction (design, materials, size, etc.) from the approved COA, applicant shall notify Commission staff and take appropriate actions. Approval by the Commission does not excuse applicant or property from compliance with other applicable codes, ordinances or policies of the city unless stated by the Commission or staff. Responsibility for identifying such codes, ordinances, or policies rests with the applicant, owner, or agent.
DO NOT FILL IN - FOR STAFF USE ONLY Application Date: HDC File #
HISTORIC DISTRICT COMMISSION DOCKETED at 4:00 p.m.
LITTLE ROCK HISTORIC DISTRICT COMMISSION ACTION:
DENIED WITHDRAWN APPROVED APPROVED WITH CONDITIONS SEE ATTACHED CONDITIONS
DOCUMENTING OFFICIAL SIGNATURE: DATE:
DATE OF EXPIRATION (according to Ordinance No. 22,338):

S0U1

WELCH-CHERRY HOUSE

700 SOUTH ROCK STREET, LITTLE ROCK, ARKANSAS

DESIGN DEVELOPMENT

DATE: MAY 6, 2024

GENERAL PROJECT NOTES

2. ALL EXISTING CONSTRUCTION SHALL REMAIN UNLESS INDICATED OTHERWISE.

IN THE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.

DISASTER SPECIALISTS ESTIMATE FOR REPAIRS.

PRIORITY OVER A DIMENSIONED LOCATION.

ATTACHMENT OF ADJOINING WORK.

FLOOR, BEAD BOARD CEILING.

SHEET

NO.

TITLE SHEET

SITE PLAN BASEMENT

ROOF PLAN

PROJECT INFORMATION

EAST ELEVATION (FRONT)

FIRST FLOOR PLAN SECOND FLOOR PLAN

SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION

SHALL BE NOTED AS "EXISTING".

1. SCOPE OF WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS DOES NOT INCLUDE SCOPE OF WORK IN THE METRO

3. ALL NOTES ARE FOR NEW SCOPE OF WORK. WHERE EXISTING CONSTRUCTION MUST BE INDICATED FOR REFERENCE, IT

4. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL ESTABLISH LOCATION OF ALL PARTITIONS. LARGER SCALE DRAWINGS HAVE PRIORITY OVER SMALLER SCALE DRAWINGS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES

5. NOTES TO "ALIGN" SHALL MEAN TO ALIGN FINISHED FACE OF PARTITION UNLESS OTHERWISE NOTED AND SHALL HAVE

6. PROVIDE WOOD BLOCKING AS SHOWN OR AS REQUIRED FOR ATTACHMENT OF WALL MOUNTED HARDWARE, TOILET ACCESSORIES, CASEWORK, MILLWORK, FINISH CARPENTRY AND WHEREVER ELSE IT MAY BE REQUIRED FOR THE SECURE

8. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS.

9. SALVAGE EXISTING MATERIALS FOR RE-USE INCLUDING BUT NOT LIMITED TO SIDING, DOORS, WINDOWS, TRIM, FINISHED

SHEET LIST

FIRST FLOOR CEILING, LIGHTING & POWER PLAN

SECOND FLOOR CEILING, LIGHTING & POWER PLAN

SHEET NAME

7. PLAN DIMENSIONS SHOWN ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE ON DETAILS.

WORK PERFORMED WITHOUT CLARIFICATION FROM ARCHITECT IS ENTIRELY AT CONTRACTOR'S RISK.

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NOT FOR CONSTRUCTION









ROOM FINISH SCHEDULE								
NUMBER	ROOM NAME	FLOOR	BASE	WALL FINISH	CEILING FINISH	CROWN	WINDOW S & TRIM FINISH	COMMENTS
001	BASEMENT							
100	ENTRY							
100a	ELECTR.							
101	OFFICE							
102	OFFICE							
103	OFFICE							
104	OFFICE							
105	OFFICE							
106	CONFERENCE							
110	HALL							
110a	CLO.							
111	ENTRY							
112	STAIR							
113	BREAK							
114	RESTR.							
115	ENTRY							
116	RESTR.							
200	HALL							
201	OFFICE							
201a	CLO							
202	OFFICE							
203	OFFICE							
204	OFFICE							
205	OFFICE							
206	OFFICE							
207	CONFERENCE							
207a	CLO.							
207b	BREAK							
207c	RESTR.							
000								

Name Elevation

DRAWING NUMBER

SHEET NUMBER -

ROOM NUMBER —

DRAWING NUMBER

SHEET NUMBER

DRAWING NUMBER —

SHEET NUMBER

HALL BREAK STAIR 2 RESTR.

FLOOR ELEVATION

DETAIL KEY

DOOR TAG

GRID TAG

BUILDING AND WALL SECTION

CEILING ELEVATION

PARTITION TYPE

WINDOW TYPE

ELEVATION TAG

ACCESSORY TAG

CONTROL JOINT

CENTERLINE

SYMBOL LEGEND

FLOOR:	BASE:	WALL:	CEILING:	CROWN:	WINDOW & TRIM:
W1: REFINISH ORIGINAL STAINED OAK FLOOR	B1-STAIN: REFINISH ORIGINAL STAINED WOOD BASE	P1: PAINT (COLOR TO BE SELECTED)	P1: PAINT (COLOR TO BE SELECTED)	C1-STAIN: REFINISH ORIGINAL STAINED CROWN	STAIN: REFINSH TO MATCH ORIGINAL
		E: EXISTING WALL TO			W1: PAINT (COLOR
W2: REPAINT ORIGINAL WOOD FLOOR	B2: REPAINT ORIGINAL WOOD BASE	REMAIN (DO NOT FINISH)		C1: PAINT (COLOR TO BE SELECTED)	BE SELECTED)
	BX: NO WOOD BASE			CX: NO CROWN	
CT1: CERAMIC TILE TYPE 1				MOLDING	
CT2: CERAMIC TILE TYPE 2					

D1: DECK ONLY,

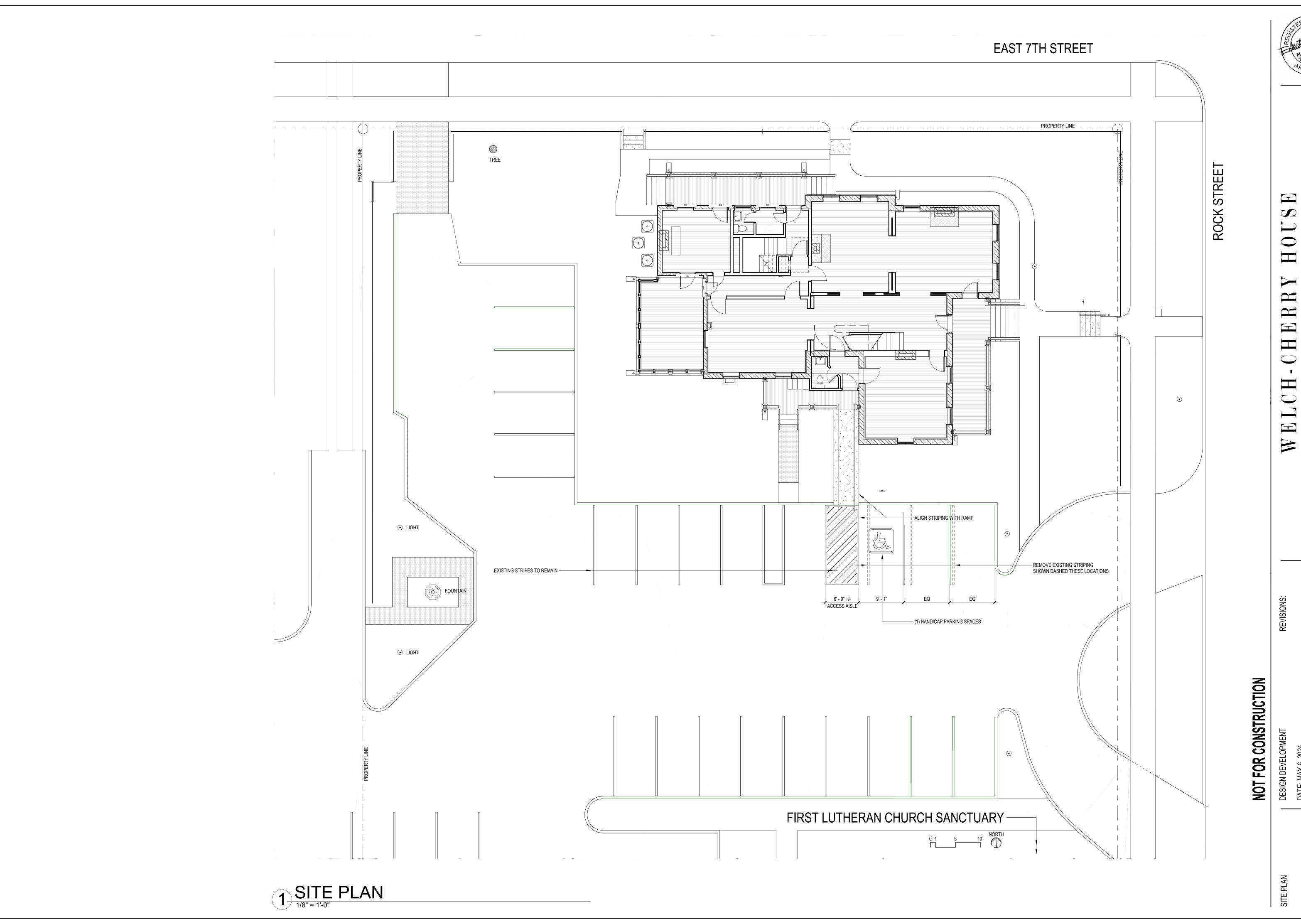
UNFINISHED

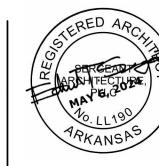
3. REPAIR INTERIOR DAMAGE AFTER EXTERIOR MOISTURE STABILIZATION IS COMPLETE: REPAIR ALL EXISTING INTERIOR FINISHES AND SUBSTRATE DAMAGE. LINCRUSTA WALL COVERING SHALL BE STABILIZED AND REPAIRED OR REPLACED (TO BE DETERMINED).

5. REPAIR ALL EXISTING INTERIOR FINISHES AND SUBSTRATE DAMAGE DUE TO LACK OF MOISTURE AND STRUCTURE STABILIZATION.

NERAL INTERIOR FINISH NOTES
TCH EXISTING PAINT COLORS AND SHEEN UNLESS NOTED OTHERWISE. PROVIDE MOCK-UP IN PLACE FOR APPROVAL BEFORE PROCEEDING.
PAIR INTERIOR DAMAGE AFTER EXTERIOR MOISTURE STABILIZATION IS COMPLETE: REPAIR ALL EXISTING INTERIOR FINISHES AND SUBSTRATE D

MONOGON WILL GOVERNO GIVILE BE GIVIDILEED MAD HEL MINED GIVILE ENGLD (10 BE BETENMINED).	
CLEAN ALL DAMAGED INTERIOR PAINT. REMOVE ALL LOSE PAINT. SAND FOR A SMOOTH CONSISTENT SURFACE. PRIME BARE WOOD. PROVIDE 2.	FINISH
OATS. WALLS SHALLBE ?? FINISH. ALL OTHER SURFACES SHALLBE SEMI-GLOSS. ALL SURFACES WITHIN A ROOM SHALLBE REPAINTED TO MATCH	1 NEW
HOULD COLOR AND SHEEN NOT BE MATCHABLE. PAINT SHALL BE BEHR MARQUEE INTERIOR OR BEHR DYNASTY. ALTERNES MAY BE SUBMITTED FO)R APPROV
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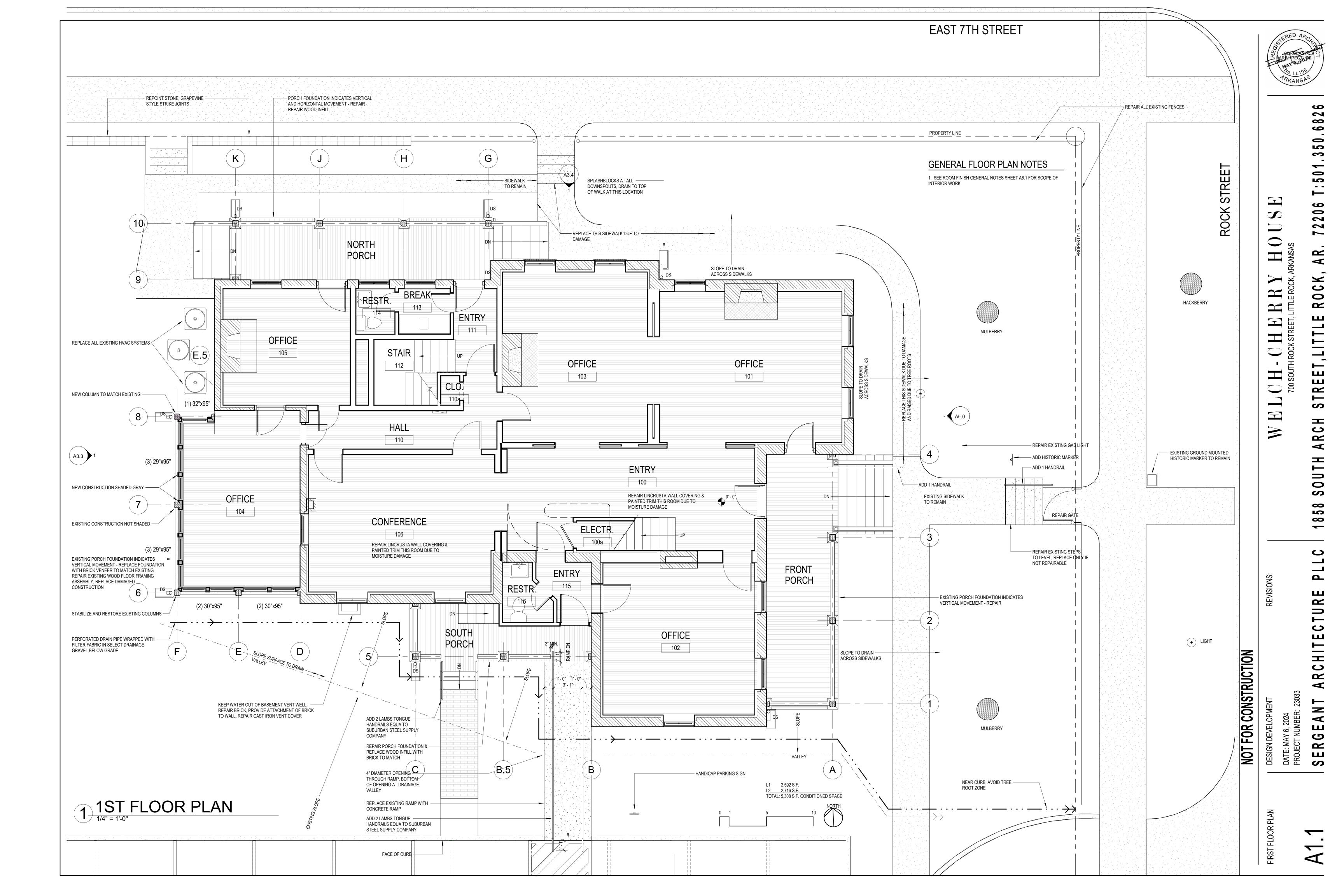
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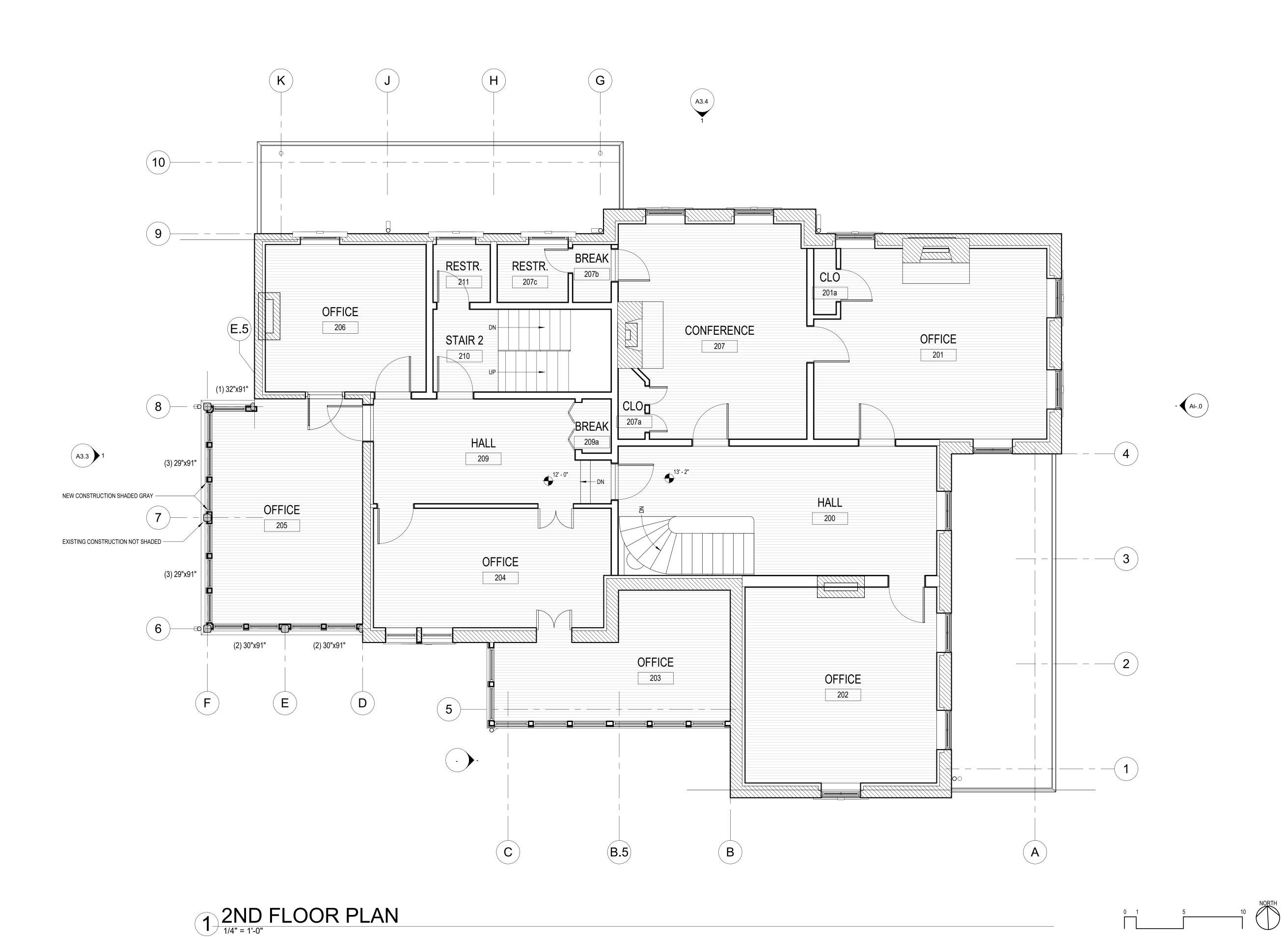
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NOT FOR CONSTRUCTION

 FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.
 ALL ROOF SLOPES SHALL MATCH ORIGINAL UNLESS NOTED OTHERWISE. 3. NEW ROOF SHALL MATCH EXISTING.

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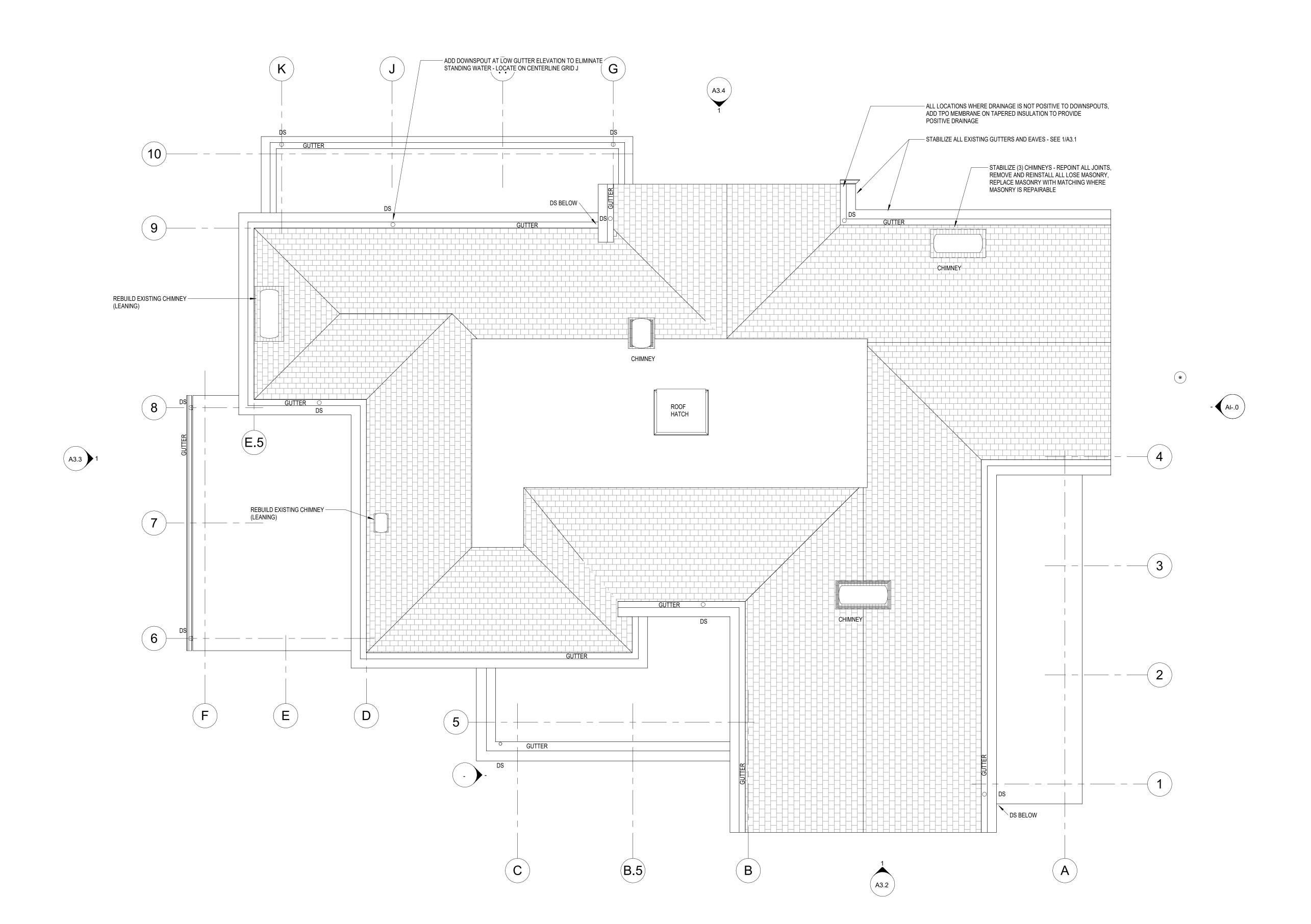
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DESIGN DEVELOPMENT DATE: MAY 6, 2024 PROJECT NUMBER: 23033

DIMMER

LIGHT FIXTURE / CEILING MOUNTED

PH LIGHT FIXTURE / PHOTOCELL

LIGHT FIXTURE / WALL MOUNTED

O RECESSED LIGHT

RECESSED DIRECTIONAL LIGHT

SP RECESSED AUDIO SPEAKER

POWER DUPLEX

POWER DUPLEX - FLOOR MOUNT FLUSH WITH FLOOR

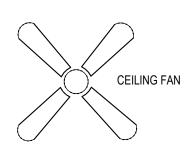
GROUND FAULT CIRCUIT INTERRUPT POWER DUPLEX

POWER 4-PLEX

POWER 220V

EXHAUST FAN

T THERMOSTAT



LIGHT FIXTURE & ELECTRICAL SCHEDULE

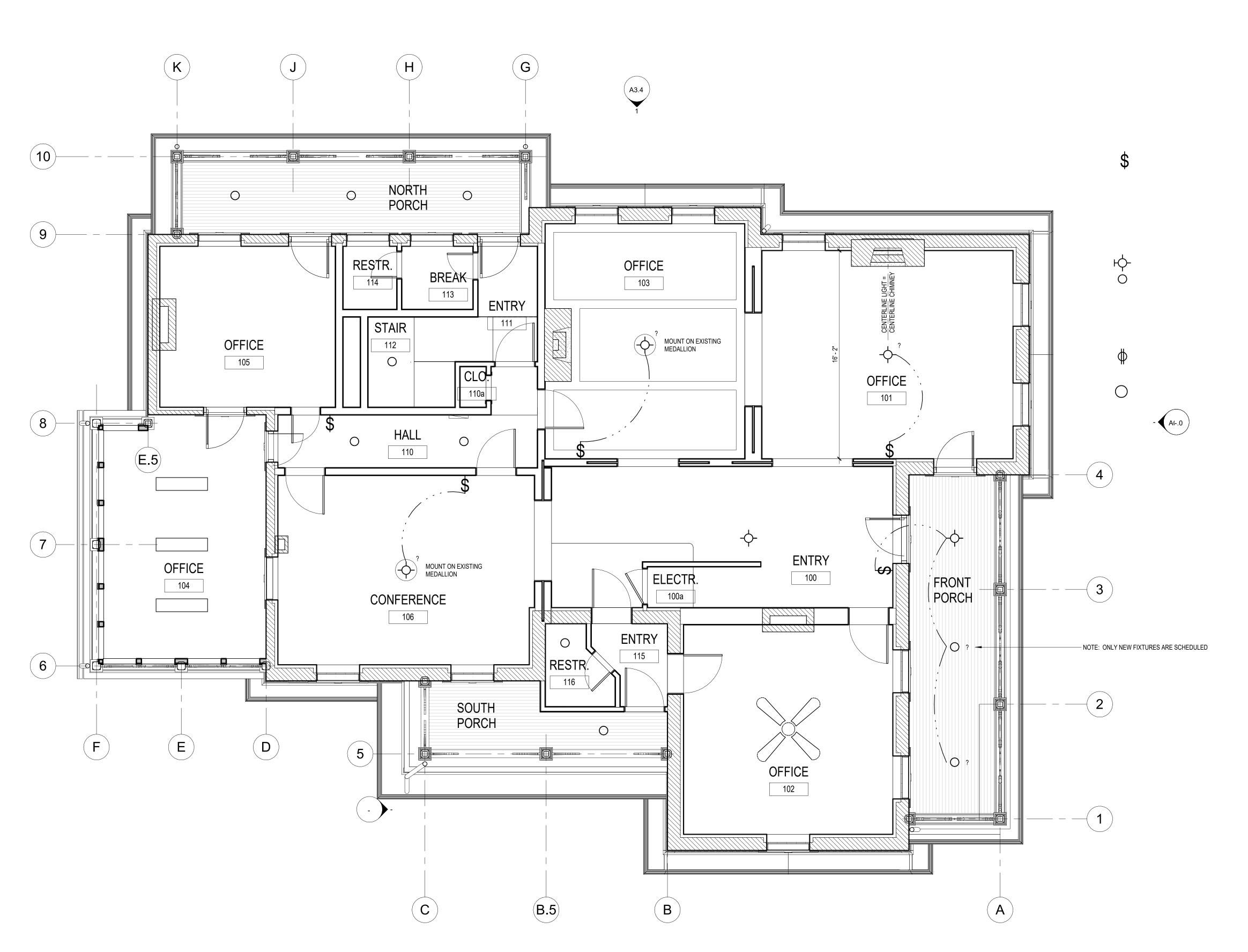
A ??

A(M) TYPE A WITH MOTION SENSOR

B ??

C ??







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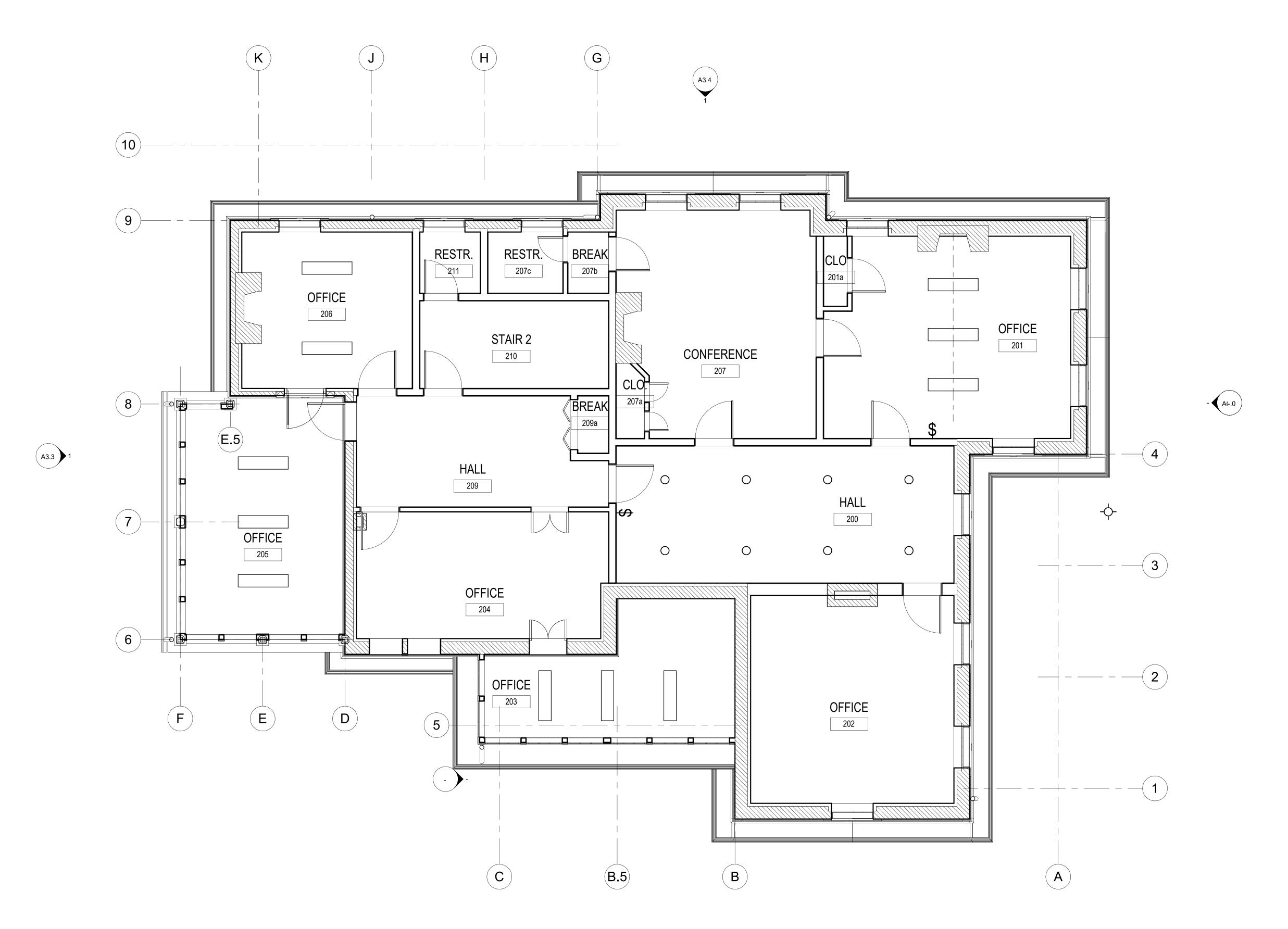
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NOT FOR CONSTRUCTION







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ITEM NO.: ONE FILE NO.: HDC2024-013

Attachment C AARF 2007 PU2830

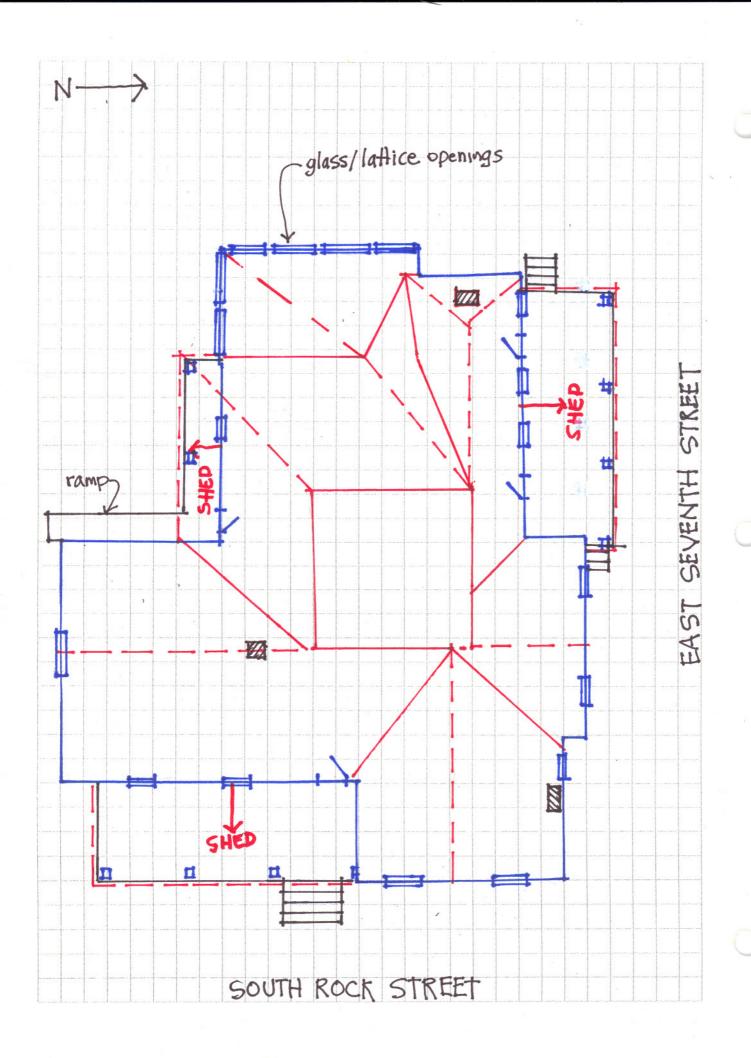


ARKANSAS ARCHITECTURAL RESOURCES FORM

ARKANSAS HISTORIC	1. Resource Number: PUZBBO			
PRESERVATION PROGRAM	2. Survey Number: 00 55			
	3. District Name:			
	4. Contributing/Non-Contributing:			
ABOVE FOR AHPP USE ONLY				
	5. Date Recorded: 02 / 15 / 07			
GENERAL DATA	6. Recorded By: T HEI PLE			
7. Historic Name:	WELCH-CHERRY HOUSE			
8. Alternate Name:	CHERRYHOUSE			
9. Quad Map:	4110			
10. Geographic Loca	ation: SOZ TOIN RUZW			
11. UTM Coordinate	z 15 E 567006 N 384 4622			
12. Town/Nearest Community: LITTUE POCK				
13. Street Address/Directions to Resource: 700 5044 ROCK SHICEH				
	Zip 72202			
14. Street Name:	South ROCK Street			
15. Owner:	FIRST LUTHERAH CHURCH			
16. Owner Address:	3-14-EAST ELIGHTH LR Zip 72202			
17. Owner Phone No	Imber: (501) 372 - 1073			
18. Informant Name	& Phone Number: PULASKII CO ASSESSOR			
	(501) 340 - 6170			
DESCRIPTIVE DAT	A			
19. Use/Original:	0 6 Other:			
	Other: O1-Single Family Dwelling O401-Church O601-School 0800-Structure Aban/Unocc. 0900-Other			

21. Setting: Other: 1-Rural, Undisturbed 2-Rural, Built-Up 3-Urban Encroachment 4-Small Town 5-Urban 9-Other				
22.Threats to Property: 1-None/Property Stable 7-Urban Encroachment Other: 2-Neglect/Deterioration 9-Other 5-Private Development 9-Other				
23. Total Number of Site Features: (e.g. concrete walls, ponds, statuary)				
24. Total Number of Ancillary Structures: (e.g. outbuildings, etc.)				
25. Style Influence: Primary: Office Secondary: Other: 01-Plain/Traditional O4-Greek Revival 15-Craftsman 19-Art Moderne 21-Standard Commercial 19 th Century Secondary: Other: 05-Italianate 09-Queen Anne/Eastlake 24-English Revival 25-Colonial Revival 22-Standard Commercial 20 th Century 10-Classical Revival 26-American Foursquare 22-Standard Commercial 20 th Century 18-Art Deco 99-Other				
26. Plan: Other: 01-One Room/single-pen 07-Rectangular 08-Square Other: 04-Dogtrot 05-Single Pile w/Central Hall 11-T-shaped 12-L-shaped 99-Other				
27. Height (Stories): 01-One 02-One & One-Half 03-Two 04-Two & One-Half 99-Other				
28. Basement/Cellar: 3 Other: 1-Full 2-Partial 3-No Cellar 8-Unknown 9-Other				
29. Wings and/or Projections: A O B C Other: 01-Rear Shed 02-Rear L 03-Rear T 04-Side 05-Prow 08-Bay Projection 99-Other				
30. Construction: 01-Log 06-Frame 07-Box 08-Brick 09-Stone 12-Reinforced Concrete 99-Other				
31. Wall Material/Original: A 05 B 0ther:				
32. Wall Material/Present: A 55 B Other: 01-Log 02-Weatherboard 10-Stucco 12-Cut Stone 13-Field Stone 14-Asbestos 97-Unknown 99-Other				
33. Roof Type(s): A O B C Other: 01-Gable 07-Pyramid 08-Gambrel 09-Gable 07-Pyramid 08-Gambrel 00-C Other: 03-Clipped Gable 04-Gable on Hip 04-Gable on Hip 08-Gable 09-Other				
34. Roof Features (if present): A OO B OTHER: 01-Dormer(s) 02-Steeple 03-Cupola 04-Cresting 05-Clock Tower 07-Tower/Turret 08-Belfry 99-Other				
35. Roof Materials: A O4 B Other: O3-Metal O5-Tile O6-Tar Built-up 99-Other				
36. Chimney Placement: 1-Exterior End A B Z C Z D Other: 1-Exterior End 3-Other Exterior 4-Interior Central 5-Other Interior 9-Other				
37. Chimney Material: 1-Brick A L B C L Other: 4-Cut Stone 5-Field Stone 6-Metal 7-Other				
38. Foundation Type: A Other:				

39. Foundation Material: A 3 Other: 1-Wood Block 2-Stone 3-Brick 4-Cast Concrete 5-Concrete Block 9-Other
40. Porch Type(s): A O 2 B O C O O Other: 01-Full, Front 02-Three-quarter, Front 03-One-Bay, Central Front 05-Wrap-around 06-Awning 07-One-Half, Front 08-Recessed, Front 09-Side 10-Full, Rear 99-Other
41. Porch Height (Stories): A B Other: 1-One 2-One & One-Half 3-Two 4-Two & One-Half 9-Other
42. Porch Roof Type(s): A B C Other: 1-Gable 2-Hip 3-Flat 4-Shed 5-Clipped Gable 9-Other
43. Porch Detail(s): A O 2 B O 2 C O O Other: A B C O 4 T O 5 01-Chamfered Posts O2-Tumed Posts O6-Lattice O8-Columns on Piers 11-Posts 13-Screened-in 99-Other
44. Window Type(s): A B C Other: 1-Double-hung 2-Triple-hung 3-Casement 4-Stationary 9-Other
45. Light/Pane Arrangement: A 0 2 / 0 2 B 0 6 / 0 1 c / 0
46. Condition: 1-Excellent 2-Good 3-Fair 4-Deteriorated 5-Ruin
47. Architectural Comments: An Italianate Victorian structure with
decorative parches and cast stone window & norizontal
banding trim.
HISTORIC DATA:
48. Architect:: UNKNOWN
49. Builder: WNKN DWN
50. Construction Date: C C-circa D-date
51. Historic Context: Italianate residence that has been
renovated for office use.
52. Please rate the level of significance of this property compared to others within survey area: 1-Very Significant 2-Moderately Significant 3-Significant Within a Group Context 4-Marginal 5-Non-Significant
53. Are any significant archeological features located on the property?
54. Ethnic Heritage: A 03 B Other: 01-Asian 02-African American 03-European 04-Hispanic 05-Native American 09-Other
of tauto / interior
55. NR Eligibility: BELOW FOR AHPP USE ONLY
1-Eligible 2-Ineligible 3-Listed 4-Delisted 5-Arkansas Register 6-Eligible in a District
56. Destroyed: (Y or N) Date:



ARKANSAS HISTORIC PRESERVATION SURVEY INVENTORY FORM

60-91

Inven	tory Number:
NAME Common: WELCH-CHERRY HOUSE	County:PULASKI
And/or Historie: CHERRY HOUSE	Date Built:c. 1880
LOCATION: Street and Number 700 ROCK STREET	
City or Town: LITTLE ROCK	Weekenstern Court of
Owner's Name: FIRST LUTHERAN CHURCH Street and Number:	314 E. 8TH
City or Town: LITTLE ROCK State:	ARKANSAS
DESCRIPTION AND CATEGORY (Check One or More)	
Historic: X Architectural: X Archeological: Cultural:	
District:Site:Building:XStructure:Object:	
Describe: SEE ATTACHED INFORMATION	
A	pproximate Acreage: LESS THAN ONE
Period/Style: ITALINATE VICTORIAN rchitect:	
Wall Construction:No.	of Stories:
STATEMENT OF SIGNIFICANCE (Include Personages, Dates, Events	s, Etc.)
SEE ATTACHED INFORMATION	· ·
DOCUMENTATION	
References:	
	Maps:Photos:
Prepared by:DIANNA KIRKOrganization: AHP	P Date: 1975

TRADITION BREEDS STABILITY

When I came to the Cherry House as a child occasionally to a birthday party and in the 1950"s when my mother and I took Mrs. Cherry to political meetings, I never thought that I was visiting a house years later to be named a "historic spot" and certainly I never dreamed I would be a speaker when a plaque so designating it was being presented.

Along with countless others I thought of this house as just another beautiful home in "old Little Rock" and gave little consideration to what the house could mean to historic Little Rock and the preservation movement, which was to come later.

It is only by a stroke of fate, or maybe the will of God, that the house is still standing. The First Lutheran Church intended to use this and adjoining property it owned for a new school to ready at least by 1968.

The the city moved West, and so did the young people with children. The church wisely decided to build the school now composed of 9 grades and a kindergarten on South Hughes — and the old house was spared.

We are happy the church made this decision because here the house stands, even if not in its glory, to lend stability to an everchanging part of the city. With its Italianate Victorian architecture, its rooms decorated with ornate moldings, high ceilings, windows reaching the floor, mantle pieces of ceramic Rockwood pottery, fitted bookcases, corner what-nots, double sliding doors and ceiling fans it stands as an outstanding example of a background for the gracious living ot its era.

From the point of view of history alone, the house and property here are significant. Margaret Frick, formerly a member of 1st Lutheran, now a translator for the Wycliff Bible Translators, thought so too. Her feature article in the Arkansas Democrat, December 28, 1958, gave the historical background of the house, and many of the facts I am going to tell you come from her research.

This land is historically linked with men and events of Territoria days. It was homesteaded by 7 men. It is described as a parcel of land some half mile inland from the river, immediately west of the Quapaw Line, the lindividing the Indian's land from the boundary of Little Rock. The line marking that boundary is said to be Rock Street. The 7 men, all known in Arkansas history were William Russell, William Trimble, Henry W. Conway, Robert Crittende Robert C. Oden, Thomas Eskridge and Joseph Hardin Crittenden, for whom the Count in East Arkansas is named, lived where the Albert Pike Hotel is now.

On March 11, 1822, 14 years before Arkansas became a State, a deed for the land was conveyed to Chester Ashley. As time went on and the town grew the property changed hands many times. Carl Keller will give you a run down on that.

Court records show that in 1884 the property on which the house stands was in the hands of Dr. Thomas R. Welch, minister of the 1st Presbyterian Church for 25 years. Miss Fricks" article stated that it was thought the house was built for him in 1874. I believe that this must have been a misprint in her article because in my research of an 1883-84 City Directory I find Dr. Welch living at 612 East 5th. And also the amount Dr. Welch paid for the property in 1884 was such that we can conclude there was no house on it at the time. I remember my mother, the late Emma Reichardt Hoeltzel, telling me that the house was built when she was a child. She was born March 1, 1875.

The story of the owner of this house impressed me as a child because his name was the same as that of the street on which our old home, the Edward Reichardt house, was standing - yes, my street, Welch Street., was named for Dr. Welch, who was a prominent Mason, along with Barber, McAlmont and McGowan, for whom other streets nearby were named in the Masonic addition to Little Rock

When Dr. Welch died, he left the house and land to the directors of the Southwestern Presbyterian University in Clarksville, Tenn. In 1892 the school sold the property to Lewis W. Cherry for \$18,500. Final papers on the transaction are dated May 21, 1907, according to Miss Frick.

Mr. Cherry had come to Little Rock from Memphis in 1885 and according to the 1887 City Directory boarded at 1302 Cumberland and was secretary for the Drystal coal and Ice Company at 403 Main. Later he was Vice President of the Peoples Building & Loan and still later Pres. of the State National Bank at 500 Main. In 1891 Mr. Cherry married Miss Lina Denison. Miss Frick reports the Miss Denison was born and reared in the house on the Southwest corner of 6th & Rock. Mr. Cherry died in 1922. He left the property to his wife, who lived in this house 65 years until her death at age 84 on October 21, 1957.

The 2 lots South of the house, now parking space, were not part of the Welch - Cherry transaction. Miss Frick's research shows that in 1909

Mrs. Cherry received title to them at a cost of \$7,250 from John Boddeker. Rec show that Boddeker received ownership of the lots in 1880 from William B. Wait, who owned them as far back at 1870. At the price of \$7,250 Mrs. Cherry paid, there must have been a house on the lots, which the Cherrys tore down for garder space. I will remember as a young girl the beautiful gardens on the South.

They were a real show place for passers-by, and according to Mrs. Wm. A.

McDonnell of St. Louis, Mrs. Cherry's daughter, the Cherry's gardens were once so beautiful they took a state prize.

In a telephone conversation Wednesday, January 8, Mrs. Ann Cherry, widow of Lewis W. Cherry, Jr., I learned that Mrs. Cherry left this and all her other properties in a trust, to be used equally by her three children: Lewis, Jr., Carolyn, and Denison. It was through a long-standing "neighbor" agreement that 1st Lutheran, for 90 years at 8th and Rock, was able to buy this property from the estate.

Sp here we have the Cherry house today, standing as Stella Payne Crow described it in a poem published in the Democrat with Margaret Frick's article, "Fading Landmark" Here is the poem. I wrote it:

The Old Cherry Home Speaks
Why should I wish to linger on
In a changing world with loved ones gone?
For decades I have faced Rock Street
With open doors, so all could greet
The many friends from far and near.
Oh, those were joys of yester year.
Old houses, too, can dream you know,
And keep a cherished memory
Like that of my dear family
Whose heirs will yield me to expand
For future progress on this land.
Why should I wish to linger on
In a changing world, with loved ones gone?
Stella Payne Crow

But it is necessary that the Welch - Cherry House and other like it linger on. Future generations have a right to know what part of Little Rock was the "Pleasant Valley" of the last quarter of the last century, what the best architects and decorators of the period produced, how house construction furnished its own air-conditioning, and what the signs of gracious living were. Yes, my friends, all this is history, just as much as Little Rock's part in four wars, Mac Arthur's birthplace in the Arsenal Building, the events in the Territorial Center, the construction of two State Capitols - yes, houses are history too. Don't let us forget it.

We of the Quapaw Quarter Association and many other citizens hope the Welch - Cherry House will stand for years to come in a section of Little Rothart can reflect our past for our children and grandchildren, along with the Lincoln House, the Pike Fletcher - Terry Mansion and other houses on 7th St., and in the immediate neighborhood. Future generations should know that their forebearers built sturdily, that people in high rises, in an aprtment jungle, surrounded by plaster. Thanks to 1st Lutheran for keeping this house for us all. Let us agree with a December 1974 statement in Nation's Business Week: "Tradition Breeds Stability" -









ITEM NO.: ONE FILE NO.: HDC2024-013

Attachment D Public Comments



PRESERVING THE PAST.
SHAPING THE FUTURE FOR 55 YEARS.

TO: Hannah Ratzlaff, Urban Designer, City of Little Rock FROM: Brian Minyard, Interim Executive Director, QQA

RE: Comments for HDC Hearing, June 6, 2024

DATE: May 16, 2024

The QQA Advocacy Committee met on Tuesday, May 14, 2024. Please share these comments with the Commission and enter them into the record. The Committee reviewed the revised summary for **the repair work and new windows at 700 Rock Street**.

The Advocacy Committee recommends approval of the maintenance items and the replacement of non-historic windows with more appropriate wood one over one wood windows. The committee applauds the applicant for working within the Conservation Easement, the Tax Credit Program, the HPRG Option 2 Grant, the Secretary of Interior Standards, and the Little Rock Historic District Commission.

The Advocacy Committee supports the application as filed.